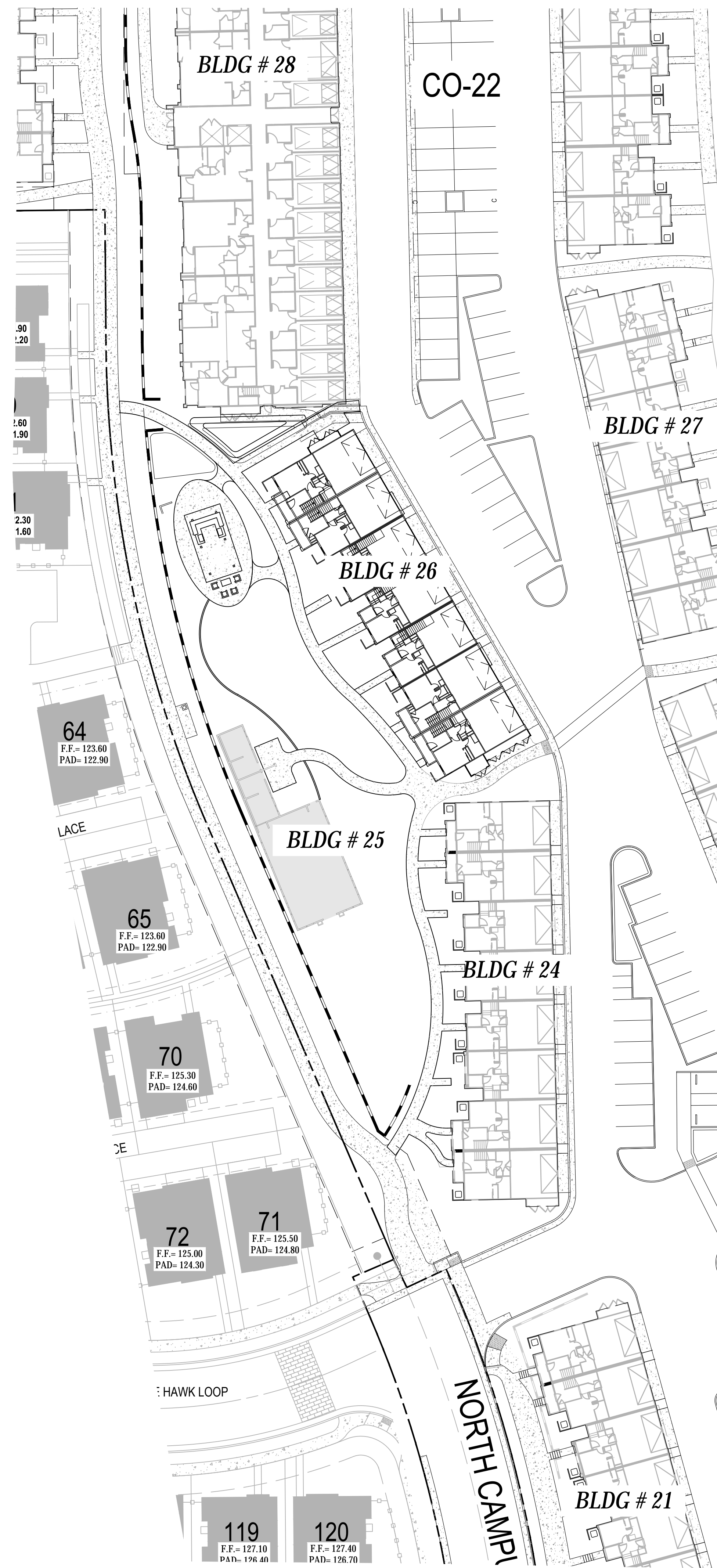
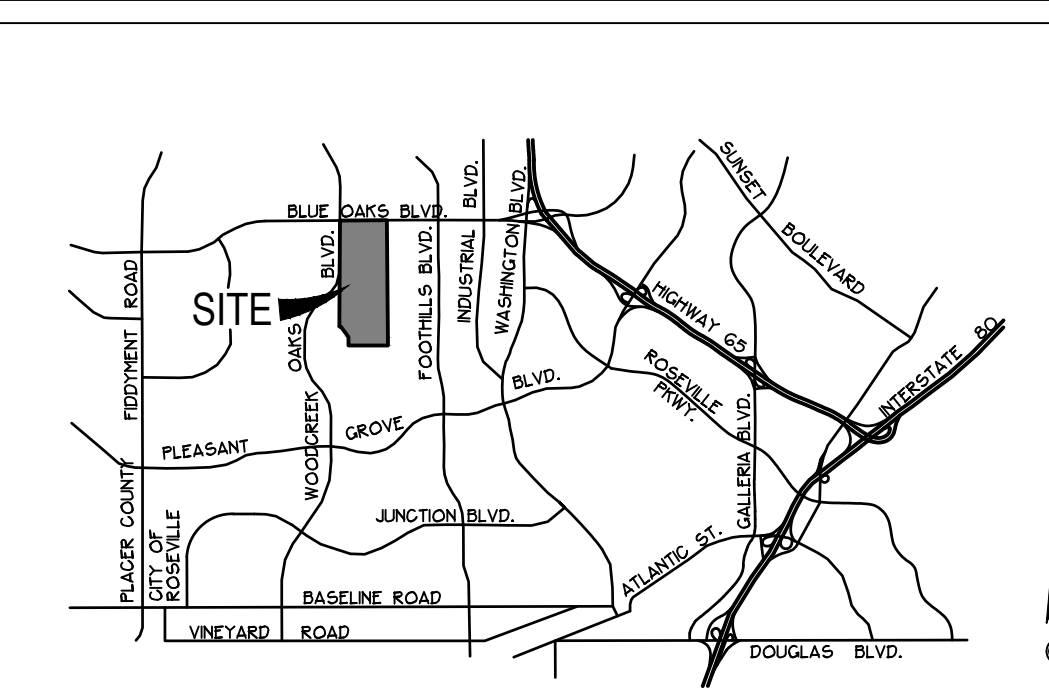


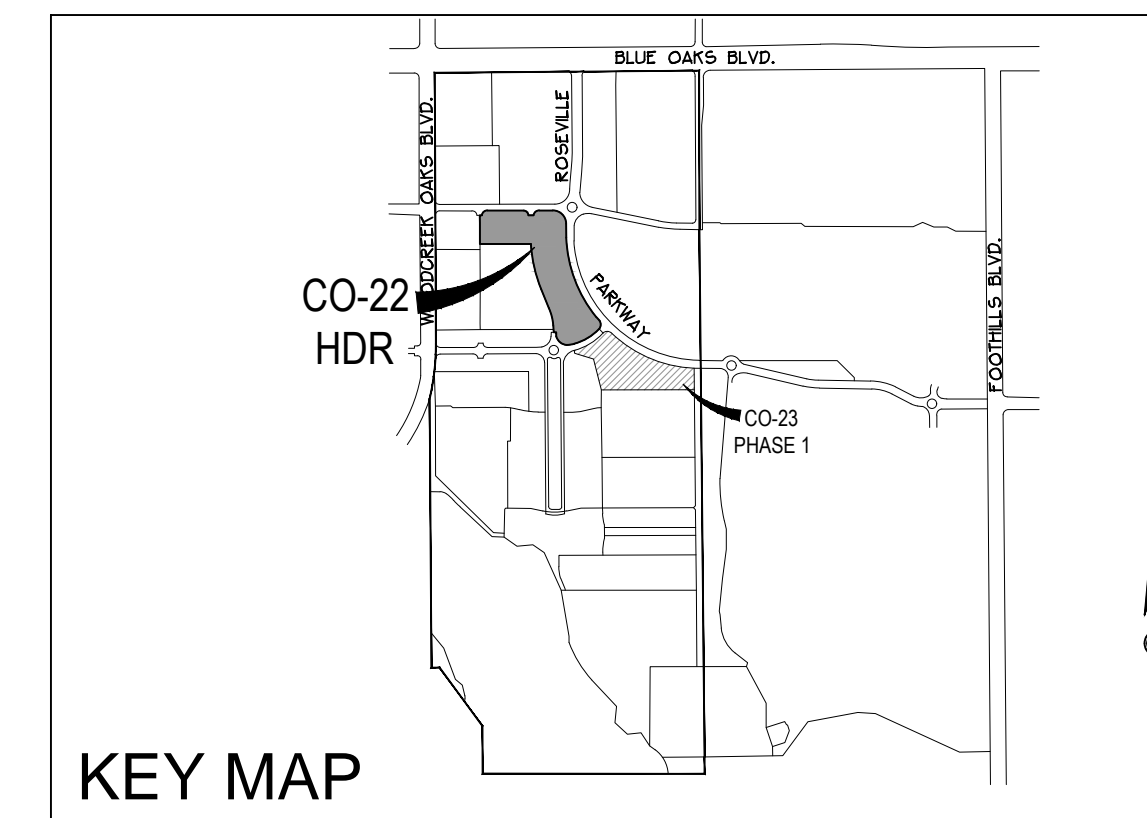
# CAMPUS OAKS APARTMENTS, PHASE 2 APPROVED SITE PLAN



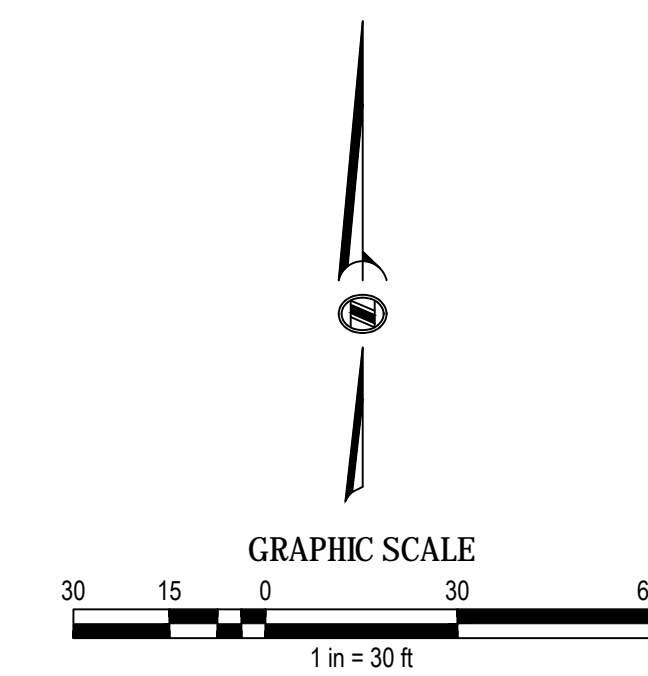
# CAMPUS OAKS APARTMENTS, PHASE 2 MODIFIED SITE PLAN



VICINITY MAP



KEY MAP



CONSULTANT

APPROVALS

NO	DATE	DESCRIPTION

REVISIONS

BENCH MARK  
ELEV = 112.83  
3-1/4" BRASS DISC STAMPED L55614, TOP OF CURB  
WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. &  
ROSEVILLE PARKWAY @ NE END OF CURB RETURN

COMPUTED BY

DESIGNED BY

DRAWN BY

PROJECT ENGINEER

PROJECT  
ENTITLEMENT DRAWING FOR  
**MAJOR PROJECT PERMIT MODIFICATION**  
**HP CAMPUS OAKS APARTMENTS**  
**PHASE 2**  
**SITE PLAN REVISION**

ROSEVILLE, CA

DRAWING

DATE	DECEMBER 22, 2020	SHEET	1
SCALE	1" = 40'	OF	1
JOB NUMBER	16-0018-01		

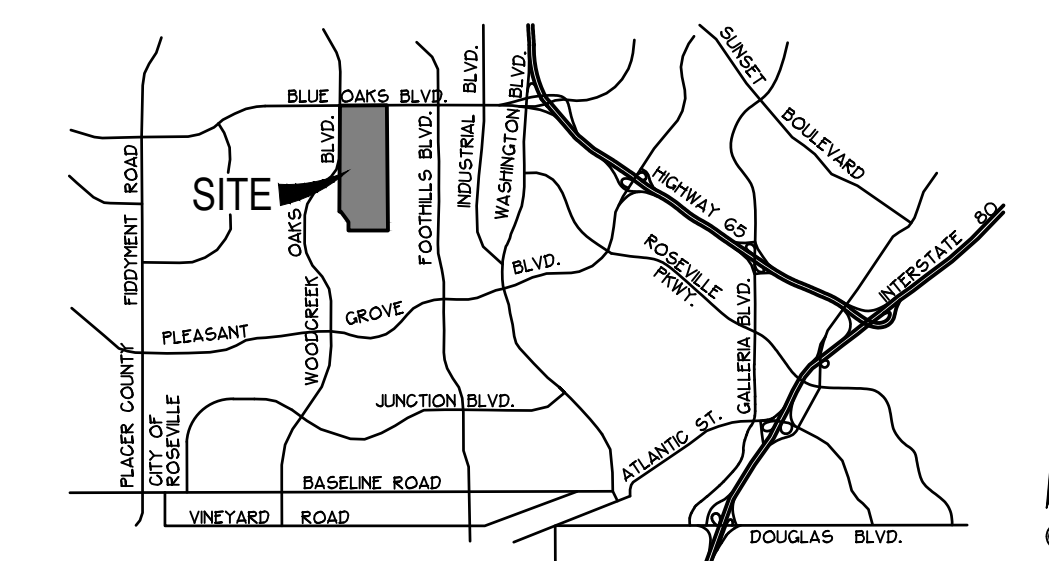
City of Roseville Approval

NOT FOR CONSTRUCTION

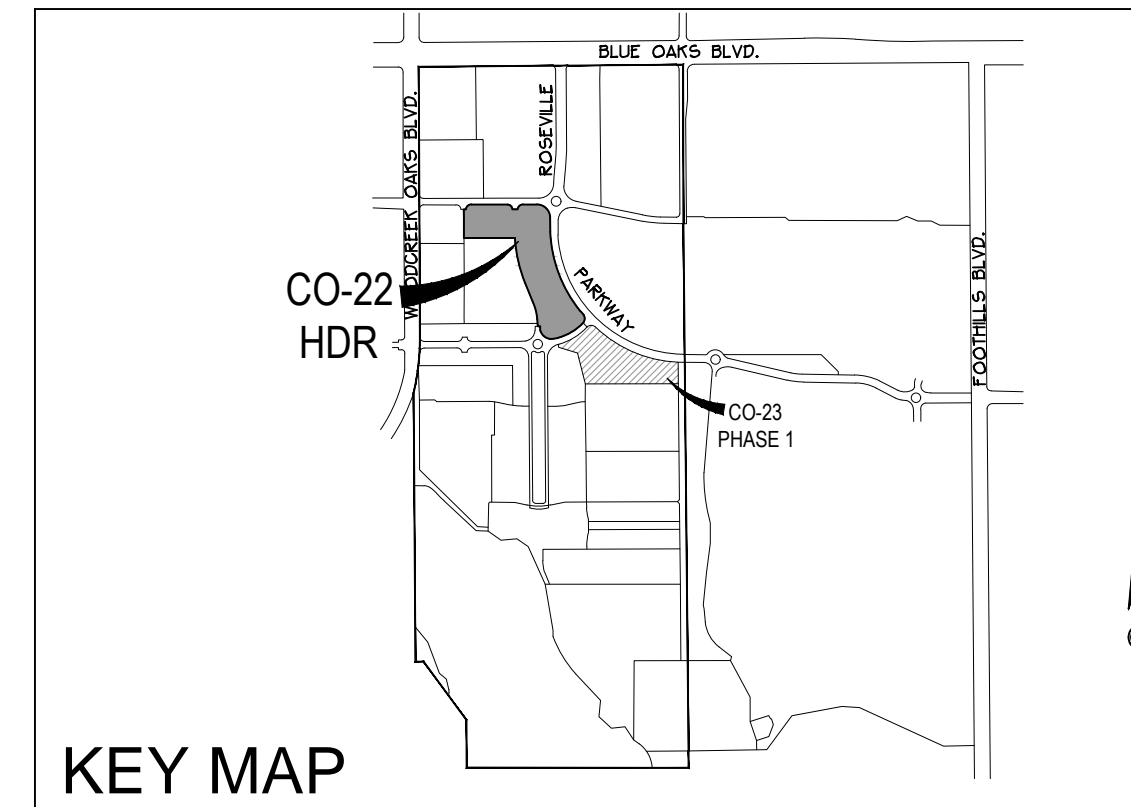
**MORTON & PITALO, INC.**  
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING  
LANDSCAPE ARCHITECTURE • TRAFFIC ENGINEERING  
72 Iron Point Circle, Suite 100 • Folsom, CA 95630  
phone: 916.984.7821 • fax: 916.984.9817 • survey fax: 916.563.6770  
survey email: staking@mpengr.com • web: www.mpengr.com

CONSULTANT

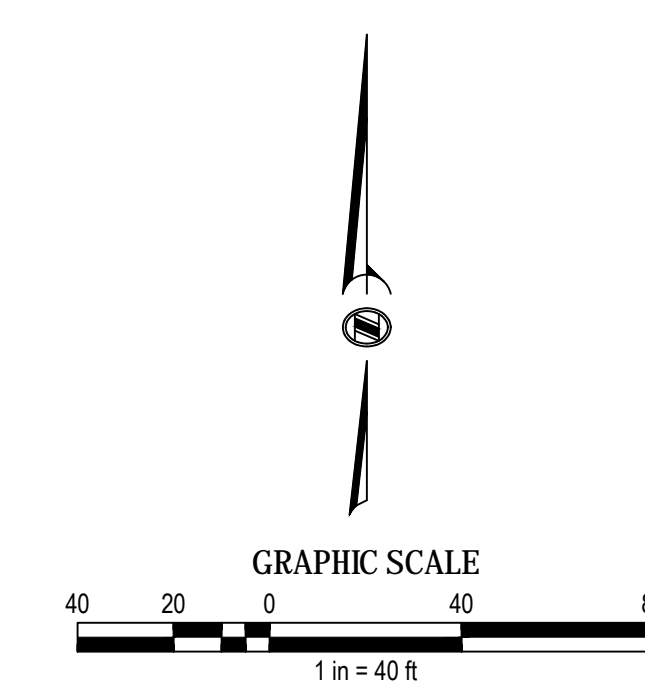
APPROVALS



VICINITY MAP



KEY MAP



**OWNER/DEVELOPER :**  
CAMPUS OAKS APARTMENTS 1 LLC  
CONTACT: SCOTT CANEL  
1949 ST. JOHNS AVE., SUITE 200  
HIGHLAND PARK, IL 60035  
PHONE: (312) 580-0085

**ENGINEERS**  
MORTON & PITALO, INC.  
CONTACT: GREG BARDINI  
75 IRON POINT CIRCLE, #120  
FOLSOM, CA 95630  
PHONE: (916) 927-2400  
FAX: (916) 357-7888

**CITY OF ROSEVILLE**  
STORM DRAINAGE  
SANITARY SEWER  
WATER  
ELECTRICITY  
PARK & RECREATION  
FIRE PROTECTION  
POLICE PROTECTION

**ZONING**  
R3/DS

**LAND USE**  
HDR-24.5

**SCHOOLS**  
ROSEVILLE CITY SCHOOL DISTRICT  
ROSEVILLE JOINT UNION  
HIGH SCHOOL DISTRICT

**APN**  
481-260-025-000

**AREA**  
8.89± AC.

**GAS**  
PACIFIC GAS & ELECTRIC

**TELEPHONE**  
CONSOLIDATED COMMUNICATIONS

**PROPOSED UNITS**  
210 MULTI-FAMILY LOTS

NO	DATE	DESCRIPTION

BENCH MARK ELEV = 112.83

3-1/4" BRASS DISC STAMED LS5614, TOP OF CURB WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. & ROSEVILLE PARKWAY @ NE END OF CURB RETURN

COMPUTED BY \_\_\_\_\_

DESIGNED BY \_\_\_\_\_

DRAWN BY \_\_\_\_\_

PROJECT ENGINEER \_\_\_\_\_

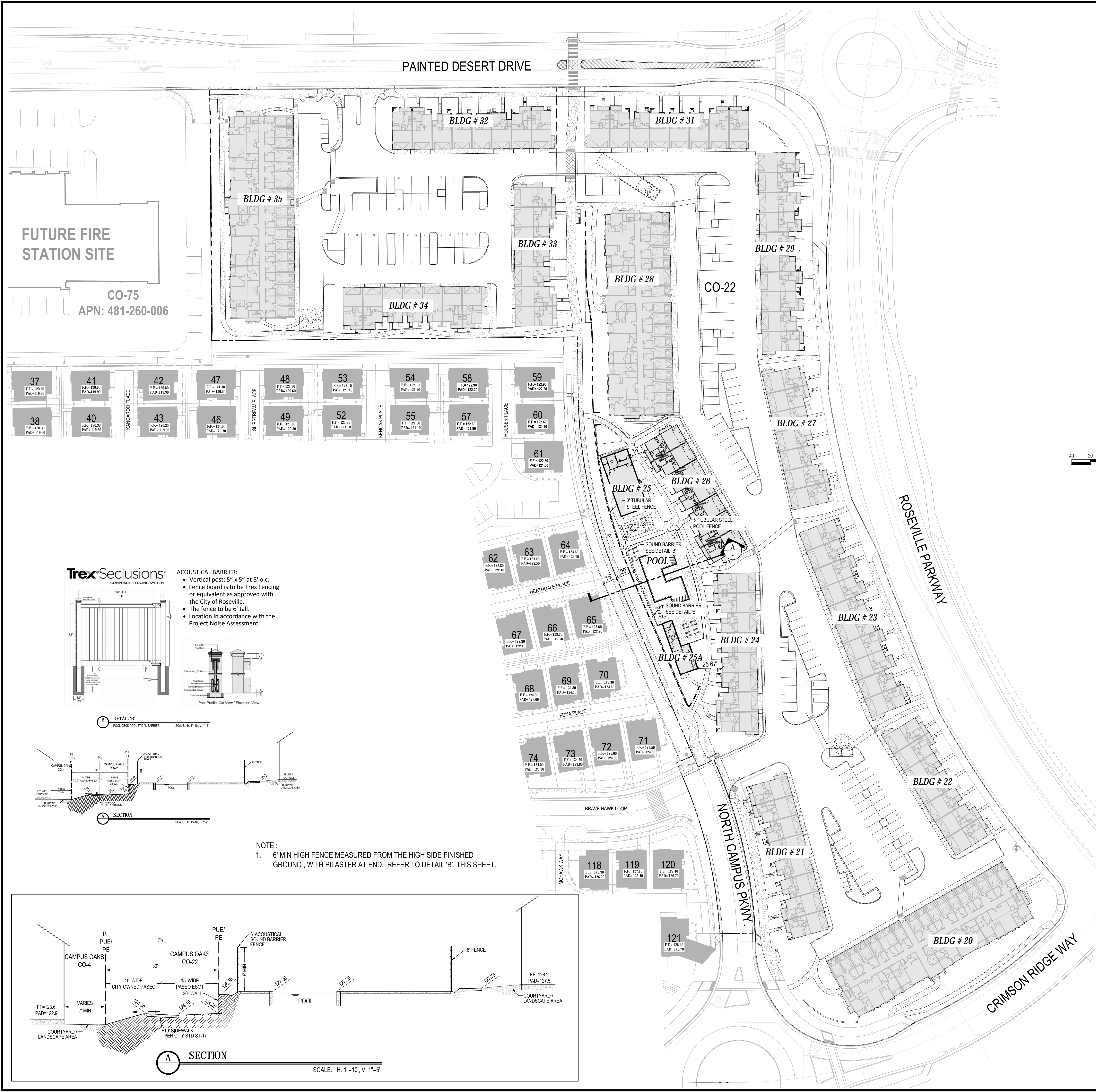
PROJECT \_\_\_\_\_

ENTITLEMENT DRAWING FOR  
**MAJOR PROJECT PERMIT MODIFICATION**  
**HP CAMPUS OAKS APARTMENTS**  
**PHASE 2**  
**SITE PLAN REVISION**

ROSEVILLE, CA

DRAWING \_\_\_\_\_

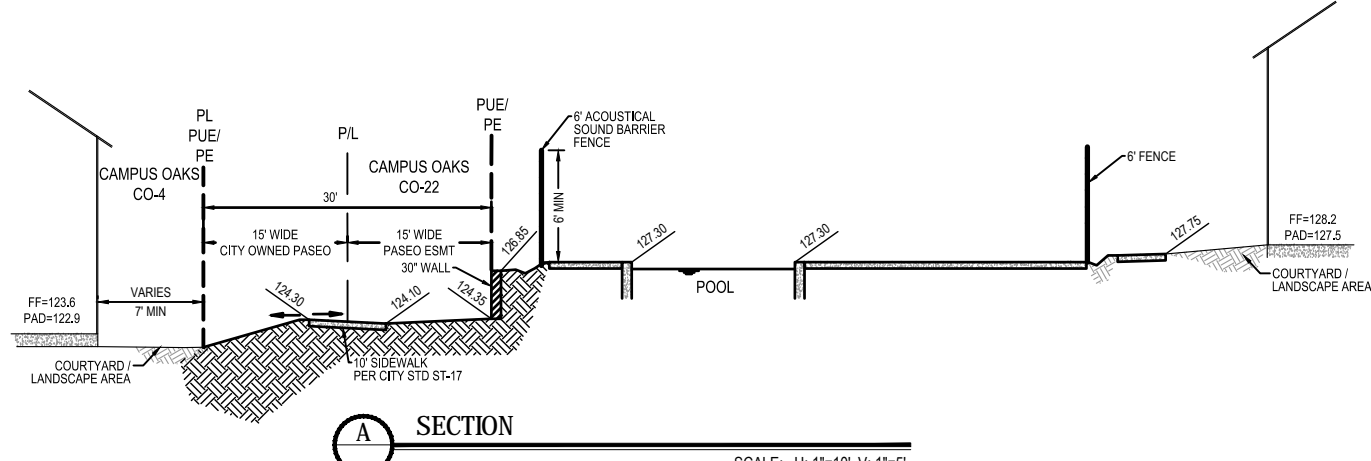
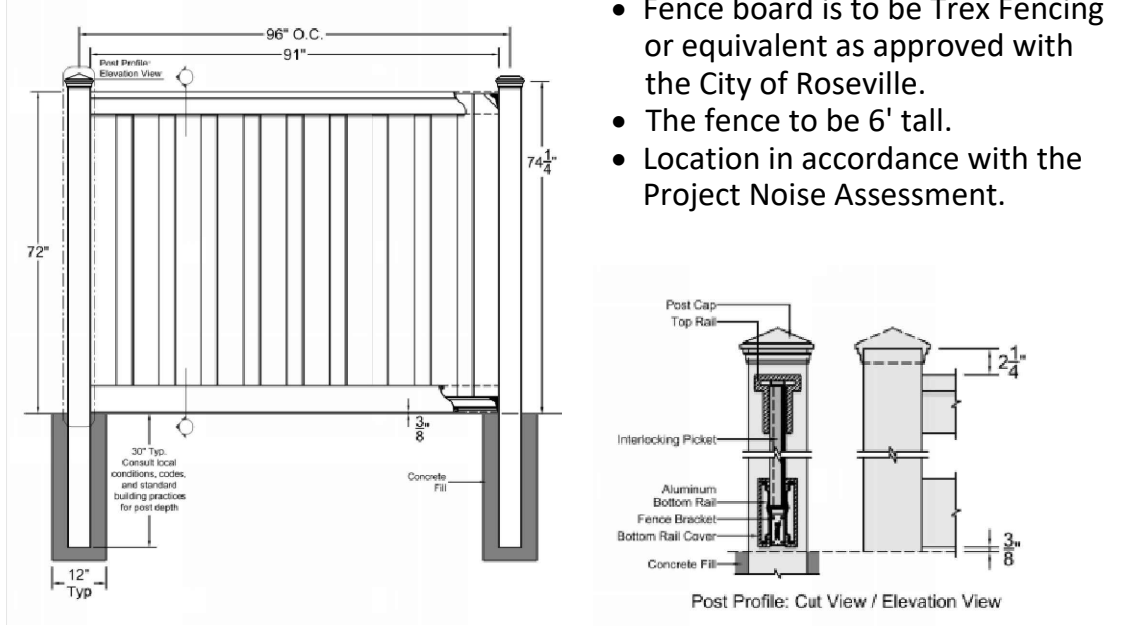
DATE	SHEET
FEBRUARY 5, 2021	1
SCALE	1" = 40'
JOB NUMBER	OF
16-0018-01	1



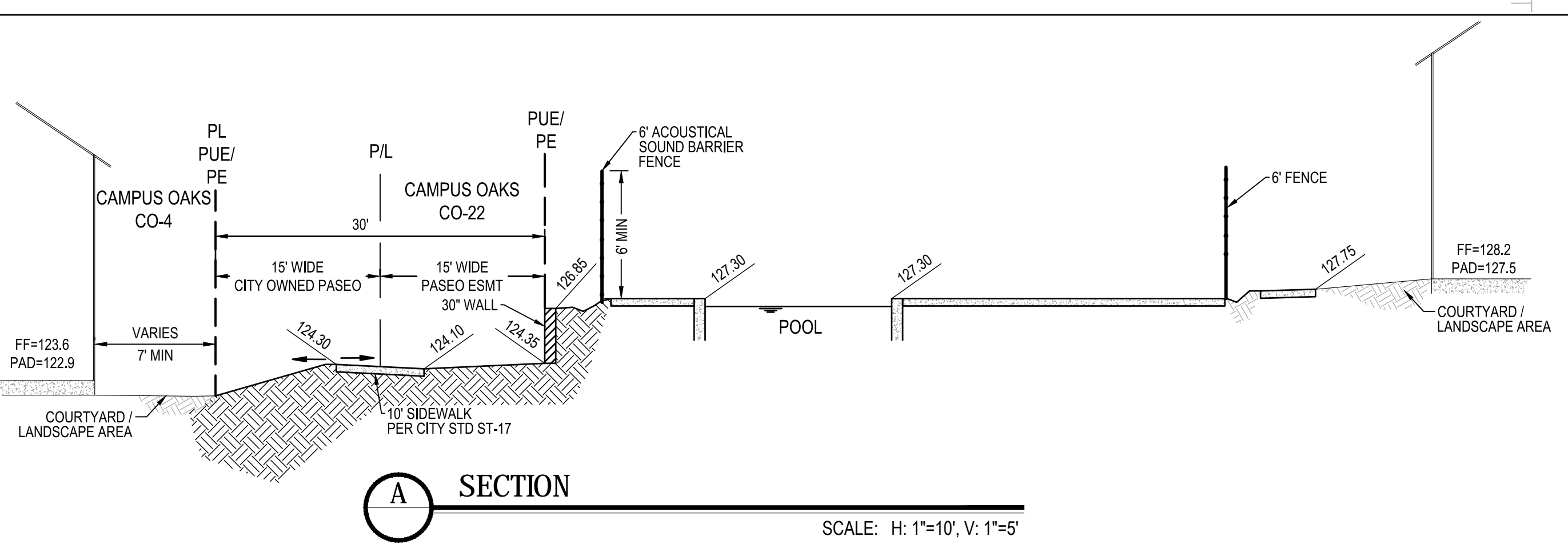
**Trex Seclusions**  
COMPOSITE FENCING SYSTEM

**ACOUSTICAL BARRIER:**

- Vertical post: 5" x 5" at 8' o.c.
- Fence board is to be Trex Fencing or equivalent as approved with the City of Roseville.
- The fence to be 6' tall.
- Location in accordance with the Project Noise Assessment.

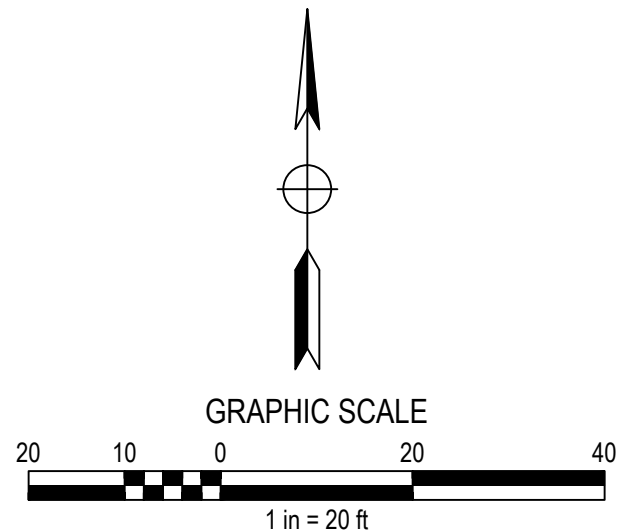
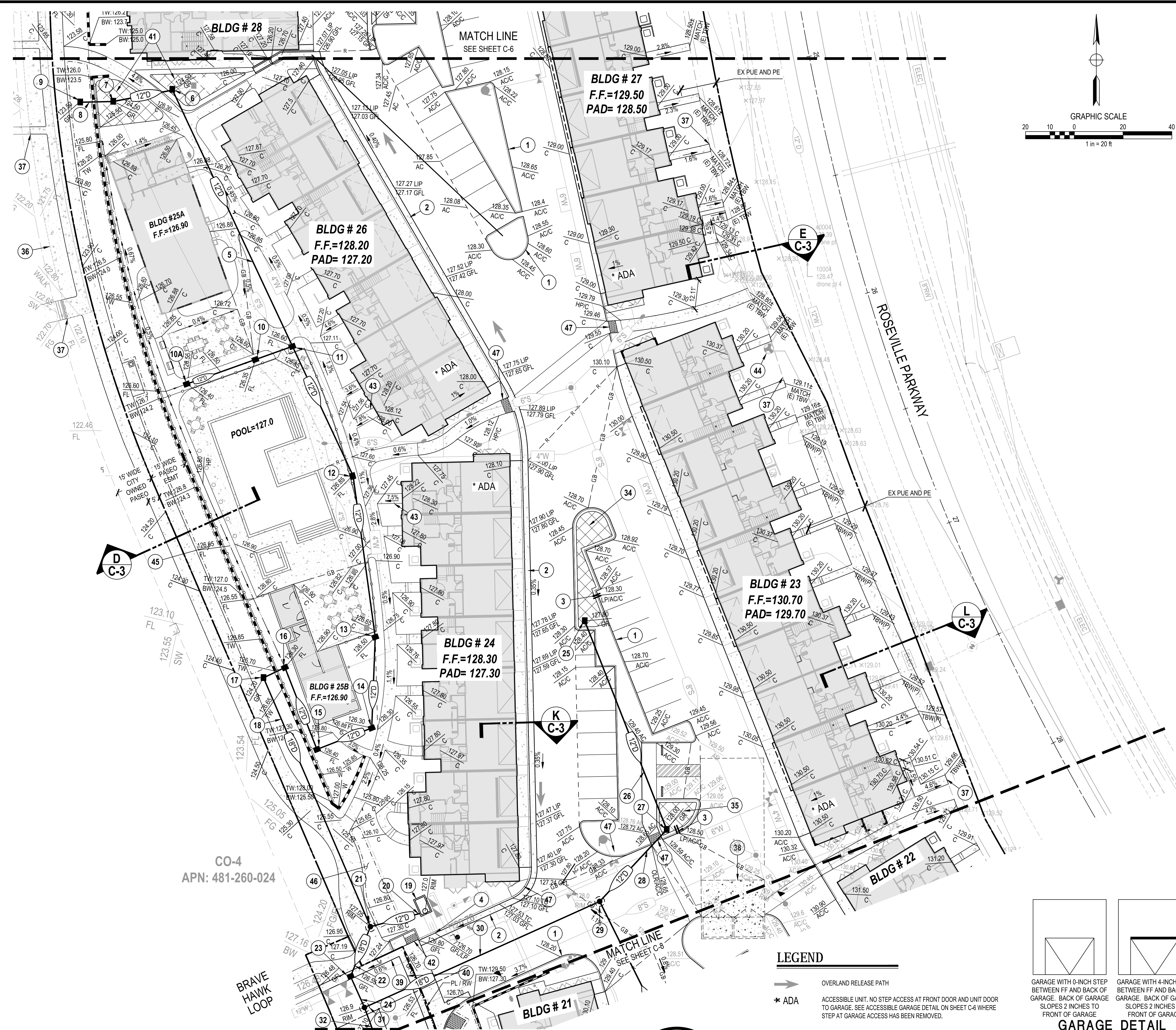


**NOTE:**  
1. 6' MIN HIGH FENCE MEASURED FROM THE HIGH SIDE FINISHED GROUND, WITH PILASTER AT END. REFER TO DETAIL 'B'. THIS SHEET.



NOT FOR CONSTRUCTION

City of Roseville Approval

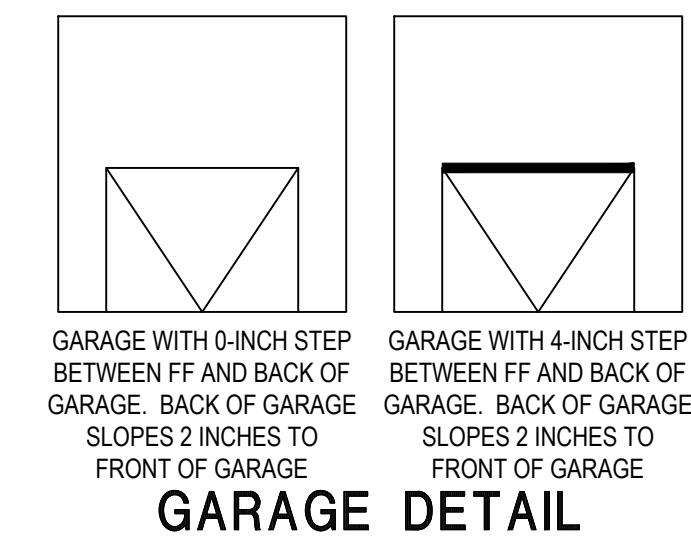


CONSTRUCTION KEYNOTES

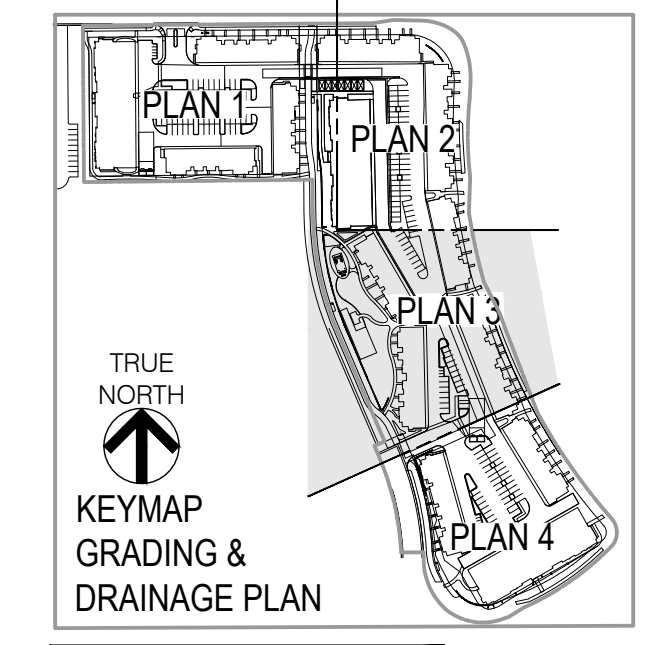
- 1 CONSTRUCT VERTICAL CURB PER DETAIL 8 ON SHEET C-16.
- 2 CONSTRUCT ROLLED CURB AND GUTTER PER DETAIL 13 ON SHEET C-16.
- 3 CURB OPENING PER DETAIL 12 ON SHEET C-16.
- 4 CONSTRUCT TWO ADJACENT AND PARALLEL UNDER SIDEWALK DRAINS PER DETAIL "G" ON SHEET C-15. EXTEND UNDERDRAINS TO CONTECH FILTERRA UNIT PER KEYNOTE 19 WITH INVERT ELEVATION = 126.25.
- 5 PLACE 116 LF X 12" DRAINAGE PIPE @ S = 0.0028.
- 6 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 124.50, INV=120.77 12" IN (W), INV=120.77 12" OUT (SE).
- 7 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 124.50, INV=120.84 12" IN (W), INV=120.84 12" OUT (E), INV=120.84 12" OUT. PLACE 25 LF X 12" DRAINAGE PIPE @ S=0.0026.
- 8 PLACE 14 LF X 12" DRAINAGE PIPE @ S = 0.0050.
- 9 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 123.50, INV=120.91 12" OUT.
- 10 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.35, INV=120.51 12" OUT (NE), INV=120.51 12" IN (SW). PLACE 16 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 10A CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.40, INV=120.81 12" OUT (NE). PLACE 30 LF X 12" DRAINAGE PIPE @ S = 0.0100.
- 11 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.60, INV=120.47 IN (SW), INV=120.47 OUT (SE). PLACE 59 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 12 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.85, INV=120.32 IN (NW), INV=120.32 OUT (S). PLACE 67 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 13 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.50, INV=120.15 IN (N), INV=120.15 OUT (S). PLACE 37 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 14 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.30, INV=120.20 IN (N), INV=120.20 OUT (SW). PLACE 24 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 15 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.40, INV=119.99 IN (NE), INV=119.99 OUT (NW). PLACE 36 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 16 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 126.30, INV=119.90 IN (SE), INV=119.90 OUT (SW). CONNECT TO 10 LF X 12" DRAINAGE PIPE @ S = 0.0026.
- 17 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 124.20, INV=119.87 IN (E), INV=119.87 OUT.
- 18 PLACE 111 LF X 18" DRAINAGE PIPE @ S = 0.0026.
- 19 DMA #13; INSTALL CONTECH FILTERRA FTBC-C, 4 x 4.5' MEDIA BAY SIZE; RIM=127.0; FL FILTERRA INLET=126.25; INV=122.96 12" OUT; SEE DETAIL "D" ON SHEET C-15.
- 20 PLACE 21 LF X 12" DRAINAGE PIPE @ S = 0.1610.
- 21 CONSTRUCT 48" DMH PER DETAIL "A" ON SHEET C-15; RIM = 127.05, INV = 119.58 IN (E), 119.58 IN (N), INV=119.58 OUT.
- 22 PLACE 22 LF X 18" DRAINAGE PIPE @ S = 0.0050.
- 23 CONSTRUCT TYPE "C" DI PER CITY DRAWING DR-1 W/ NOTICE PER CITY DRAWING DR-20; GR = 126.55, INV=119.47 IN (NE), INV=118.47 OUT.
- 24 PLACE 14 LF X 18" DRAINAGE PIPE @ S = 0.0050.
- 25 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 127.80, INV=123.70 OUT.
- 26 PLACE 92 LF X 12" DRAINAGE PIPE @ S = 0.0109.
- 27 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 128.00, INV=122.70 IN, INV=122.70 OUT.
- 28 PLACE 40 LF X 12" DRAINAGE PIPE @ S = 0.0050.
- 29 CONSTRUCT 48" DMH PER CITY DRAWING DR-4; RIM = 128.20, INV=122.50 IN (NE), INV=122.50 IN (SW), INV=121.50 OUT.
- 30 PLACE 106 LF X 18" DRAINAGE PIPE @ S = 0.0050.
- 31 CONSTRUCT 48" DMH PER CITY DRAWING DR-4; RIM = 126.9, INV=121.07 IN (E); INV=118.40 IN (N); INV=118.40 OUT.
- 32 SEE SHEET C-8.
- 33 CONSTRUCT 24"x24" DI BY JENSEN OR APPROVED EQUAL PER DETAIL "A" ON SHEET C-15; GR = 125.65, INV=120.49 IN (N) INV=120.49 OUT.
- 34 DMA #14; CONST BIORETENTION BASIN PER WEST PLACER STORMWATER QUALITY DESIGN MANUAL FACT SHEET TR-1. MIN BOTTOM AREA= 210 SF, MIN TOP AREA= 210 SF, MIN DEPTH OF PLANTING MEDIA= 1.5 FEET, MIN DEPTH OF GRAVEL= 2.3 FT. SEE DETAIL "B" ON SHEET C-15.
- 35 DMA #15; CONST BIORETENTION BASIN PER WEST PLACER STORMWATER QUALITY DESIGN MANUAL FACT SHEET TR-1. MIN BOTTOM AREA= 151 SF, MIN TOP AREA= 151 SF, MIN DEPTH OF PLANTING MEDIA= 1.5 FEET, MIN DEPTH OF GRAVEL= 1.5 FT. SEE DETAIL "B" ON SHEET C-15.
- 36 DEMO SIDEWALK CONSTRUCTED W/ CO-4 PLANS.
- 37 CONNECT TO NEW / EXISTING CITY SIDEWALK / NEW CITY PASEO WALKWAY; CONNECTING WALK SHALL NOT EXCEED 5% LONGITUDINAL SLOPE. TYPICAL.
- 38 CONSTRUCT TRASH ENCLOSURE PER CITY DRAWING SW-1. SEE DETAIL 14 ON SHEET C-16.
- 39 CONSTRUCT TYPE 2 CURB AND GUTTER PER CITY DRAWING ST-17.
- 40 CONSTRUCT TYPE A-7 DRIVEWAY ENTRANCE PER CITY DRAWING ST-22.
- 41 DMA #9; CONST BIORETENTION BASIN PER WEST PLACER STORMWATER QUALITY DESIGN MANUAL FACT SHEET TR-1. MIN BOTTOM AREA= 431 SF, MIN TOP AREA= 617 SF, MIN DEPTH OF PLANTING MEDIA= 1.5 FEET, MIN DEPTH OF GRAVEL= 1.6 FT. SEE DETAIL "B" ON SHEET C-15.
- 42 CONSTRUCT CASE "C" PEDESTRIAN-CURB RAMP PER CITY DRAWING ST-26. AND PLACE TRUNCATED DOMES PER CITY DRAWING ST-35.
- 43 INSTALL HANDRAILS.
- 44 ADJUST (EX) UTILITY BASE TO GRADE, IF NECESSARY.
- 45 DMA #10; CONSTRUCT SOIL QUALITY IMPROVEMENT AREA PER WEST PLACER STORMWATER QUALITY DESIGN MANUAL FACT SHEET SDM-2. MIN. AREA = 1200 SF WITH MINIMUM DEPTH OF AMENDED SOIL = 0.5'. SEE DETAIL C ON SHEET C-15.
- 46 DMA #12; CONSTRUCT SOIL QUALITY IMPROVEMENT AREA PER WEST PLACER STORMWATER QUALITY DESIGN MANUAL FACT SHEET SDM-2. MIN. AREA = 300 SF WITH MINIMUM DEPTH OF AMENDED SOIL = 0.5'. SEE DETAIL C ON SHEET C-15.
- 47 PLACE TRUNCATED DOMES PER CITY DRAWING ST-35. TYPICAL. CURBS SHALL BE FLUSH AT GFL.

LEGEND

- OVERLAND RELEASE PATH
- \* ADA ACCESSIBLE UNIT. NO STEP ACCESS AT FRONT DOOR AND UNIT DOOR TO GARAGE. SEE ACCESSIBLE GARAGE DETAIL ON SHEET C-8 WHERE STEP AT GARAGE ACCESS HAS BEEN REMOVED.



GARAGE DETAIL

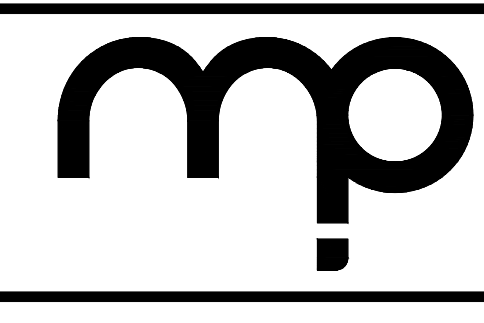
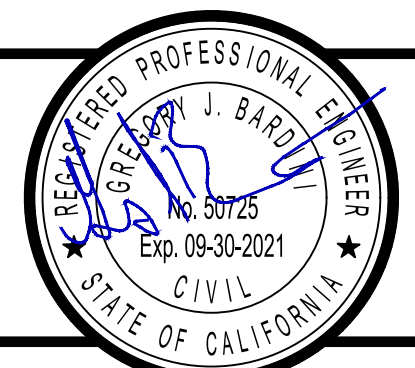


KEYMAP GRADING & DRAINAGE PLAN

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE
1	REVISE WQ UNIT & ASSOCIATED DRAINAGE				

SCALE:	BENCH MARK	CITY B.M. 96
HORIZ. 1" = N/A	ELEV=112.83	
VERT. 1" = N/A	3-1/4" BRASS DISC STAMPED LS614, TOP OF CURB WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. & ROSEVILLE PARKWAY AT THE END OF CURB RETURN	

COMPUTED	MJC
DESIGNED	JJC
DRAWN	MCK
PROJ. ENGR.	CDK



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IMPROVEMENT PLANS FOR  
**HP CAMPUS OAKS APARTMENTS - PHASE 2**  
**GRADING & DRAINAGE PLAN 3**  
 CITY OF ROSEVILLE, CALIFORNIA

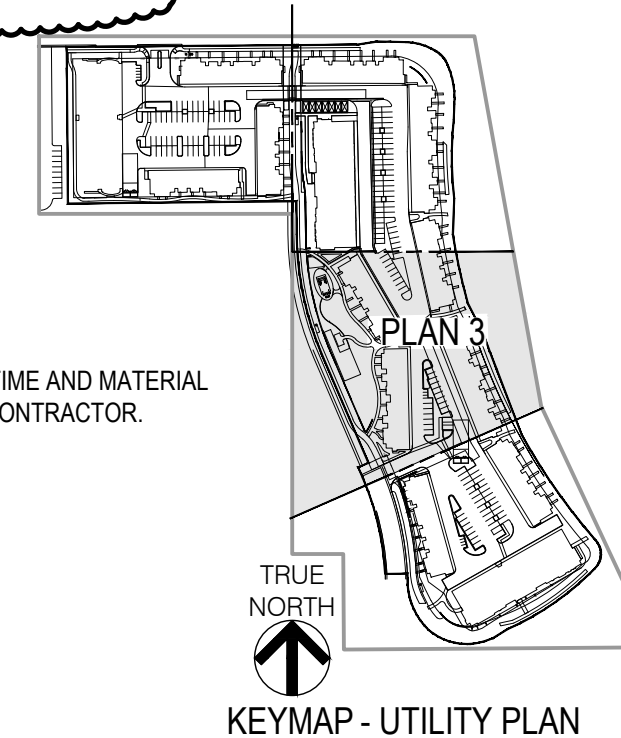
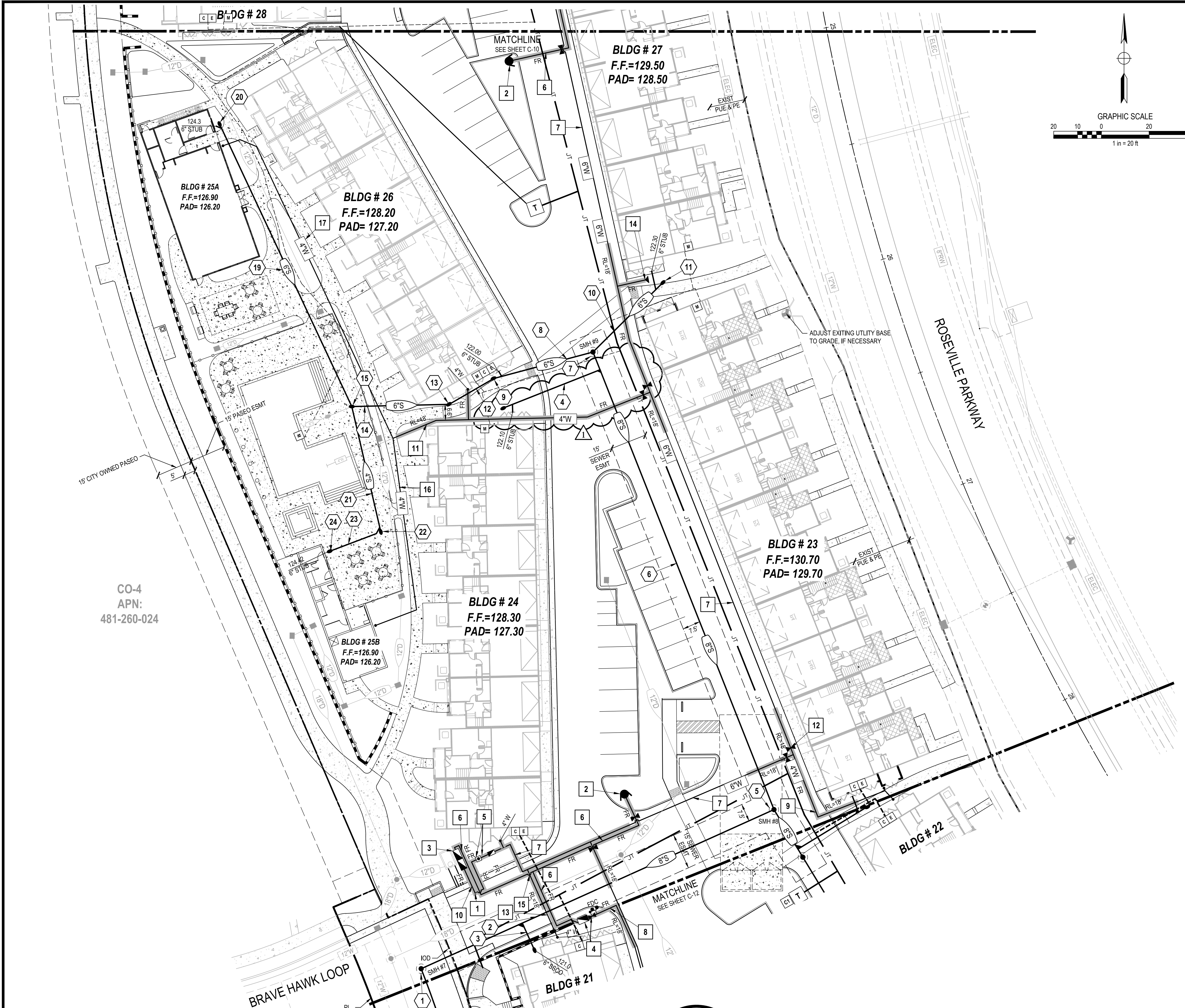
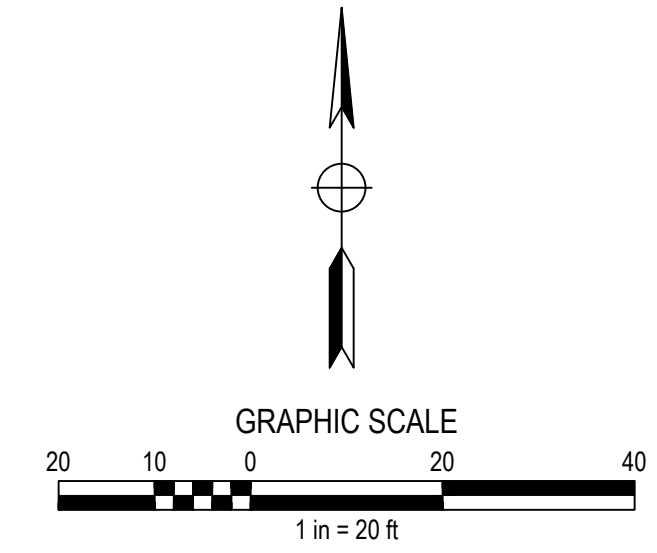
DATE	OCTOBER 30, 2019
SHEET	C-7
	7 OF 40

## CONSTRUCTION KEYNOTES

- SEWER:**
- 1 SMH #7, CONST 48" SEWER MANHOLE PER CITY DRAWING SS-2; RIM=126.9, INV=118.2 8" IN, INV=118.1 8" OUT.
  - 2 PLACE 162 LF X 8" VCP SEWER @ S=0.0097.
  - 3 PLACE 12 LF X 6" VCP SEWER @ S=0.020.
  - 4 PLACE 40 LF X 6" VCP SEWER @ S=0.020.
  - 5 SMH #8, CONST 48" SEWER MANHOLE PER CITY DRAWING SS-2; RIM=129.7, INV=119.87 8" IN, INV=119.77 8" OUT.
  - 6 PLACE 206 LF X 8" VCP SEWER @ S=0.0035.
  - 7 SMH #9, CONST 48" SEWER MANHOLE PER CITY DRAWING SS-2; RIM=129.1, INV=120.76 6" IN, INV=120.59 8" OUT.
  - 8 PLACE 43 LF X 6" VCP SEWER @ S=0.020.
  - 9 INSTALL 6" CLEAN OUT TO GRADE; INV=121.62 (6" OUT).
  - 10 PLACE 37 LF X 6" VCP SEWER @ S=0.020.
  - 11 INSTALL 6" CLEAN OUT TO GRADE; INV=121.50 (6" OUT).
  - 12 PLACE 22 LF X 6" VCP SEWER @ S=0.020.
  - 13 INSTALL 6" CLEAN OUT TO GRADE; INV=122.06 (6" OUT).
  - 14 PLACE 41 LF X 6" VCP SEWER @ S=0.020.
  - 15 INSTALL 6" CLEAN OUT TO GRADE; INV=122.88 (6" OUT).
  - 16 PLACE 22 LF X 6" VCP SEWER @ S=0.020.
  - 17 INSTALL 6" CLEAN OUT TO GRADE; INV=122.00 (6" OUT).
  - 18 INSTALL 6" CLEAN OUT TO GRADE; INV=123.10 (6" OUT).
  - 19 PLACE 131 LF X 6" VCP SEWER @ S=0.010.
  - 20 INSTALL 6" CLEAN OUT TO GRADE; INV=124.19 (6" OUT).
  - 21 PLACE 54 LF X 4" VCP SEWER @ S=0.020.
  - 22 INSTALL 4" CLEAN OUT TO GRADE; INV=123.96 (4" OUT).
  - 23 PLACE 23 LF X 4" VCP SEWER @ S=0.020.
  - 24 INSTALL 4" CLEAN OUT TO GRADE; INV=124.42 (4" OUT).

- WATER:**
- 1 CONNECT INTO EXISTING 12" WATERLINE CONSTRUCTED PER THE 'CAMPUS OAKS - CO-4 SUBDIVISION' IMPROVEMENT PLANS; REMOVE 4 LF +/- OF 12" WATERLINE AND CONNECT INTO WATERLINE PER CITY OF ROSEVILLE STANDARDS; INSTALL 12" X 8" TEE WITH 12" TO 6" REDUCER AT POC. WATER LINE FROM REDUCER TO WATER METER TO BE 6" DIP CL350.
  - 2 INSTALL FIRE HYDRANT PER CITY DRAWING W-13.
  - 3 INSTALL APPROVED 6" DOUBLE DETECTOR CHECK VALVE (DDCV) PER CITY DRAWING W-3.
  - 4 INSTALL FIRE PROTECTION SERVICE PER DETAIL "E" ON SHEET C-15.
  - 5 INSTALL APPROVED 6" WATER METER (DOMESTIC) AND RP TYPE BACKFLOW DEVICE PER CITY DRAWING W-29 & W-7.
  - 6 INSTALL 8" PVC C900 CL150 FIRE SERVICE LINE.
  - 7 INSTALL 6" PVC C900 CL150 DOMESTIC WATERLINE.
  - 8 INSTALL 6" PVC C900 CL200 FIRE SERVICE LINE.
  - 9 INSTALL 4" PVC C900 CL 150 DOMESTIC WATERLINE.
  - 10 INSTALL 8" DIP CL350 FIRE SERVICE LINE.
  - 11 INSTALL 4" PVC C900 CL 150 DOMESTIC WATERLINE; MAINTAIN 6" MIN SEPARATION BETWEEN 4" WATERLINE AND 6" SEWERLINE.
  - 12 INSTALL 6" GATE VALVE PER CITY STANDARDS.
  - 13 INSTALL 4" PVC C900 CL 150 DOMESTIC WATERLINE.
  - 14 INSTALL 2" ARV PER CITY DRAWING G W-12.
  - 15 INSTALL 8" DIP CL350 FIRE SERVICE LINE AT 8" & 6" W CROSSING; DIP SHALL EXTEND 5' MIN ON EACH SIDE OF CROSSING; SEE UTILITY CROSSING KEYNOTE #6 ON SHEET C-19.
  - 16 INSTALL 150 LF X 4" PVC C900 CL 150 DOMESTIC WATERLINE.
  - 17 INSTALL 77 LF X 4" PVC C900 CL 150 DOMESTIC WATERLINE.

- WATER NOTES:**
1. ALL BENDS, FITTINGS AND TEES ARE TO BE MECHANICALLY RESTRAINED.
  2. ALL TAPS TO PUBLIC WATER SHALL BE COMPLETED BY CITY FORCES ON A TIME AND MATERIAL BASIS. ALL CONSTRUCTION COSTS INCURRED SHALL BE PAID FOR BY THE CONTRACTOR.

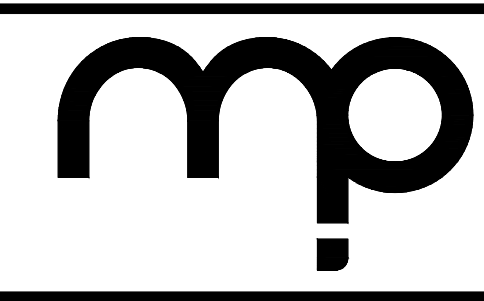
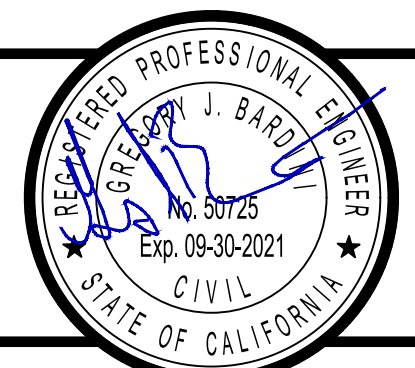


Dwg: X:\2018\16-0018-01\HP CAMPUS OAKS APRT PHASE 2\DWG\ENGINEERING\16-0018-01-C210-UTD-01.DWG | S:\swd | 08-24-2017 12:20pm | JORROWER

NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.L.	DATE
1	REVISE SEWER & WATER				

SCALE:	BENCH MARK
HORIZ. 1" = N/A	CITY B.M. 96
VERT. 1" = N/A	ELEV=112.83
	3-1/4" BRASS DISC STAMPED LS614, TOP OF CURB WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. & ROSEVILLE PARKWAY AT THE END OF CURB RETURN

COMPUTED	MJC
DESIGNED	JJC
DRAWN	MCK
PROJ. ENGR.	CDK



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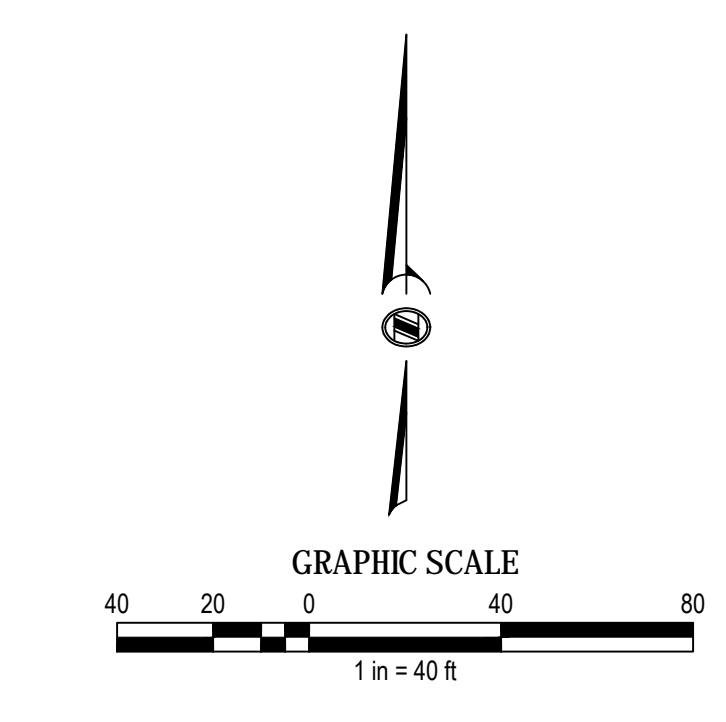
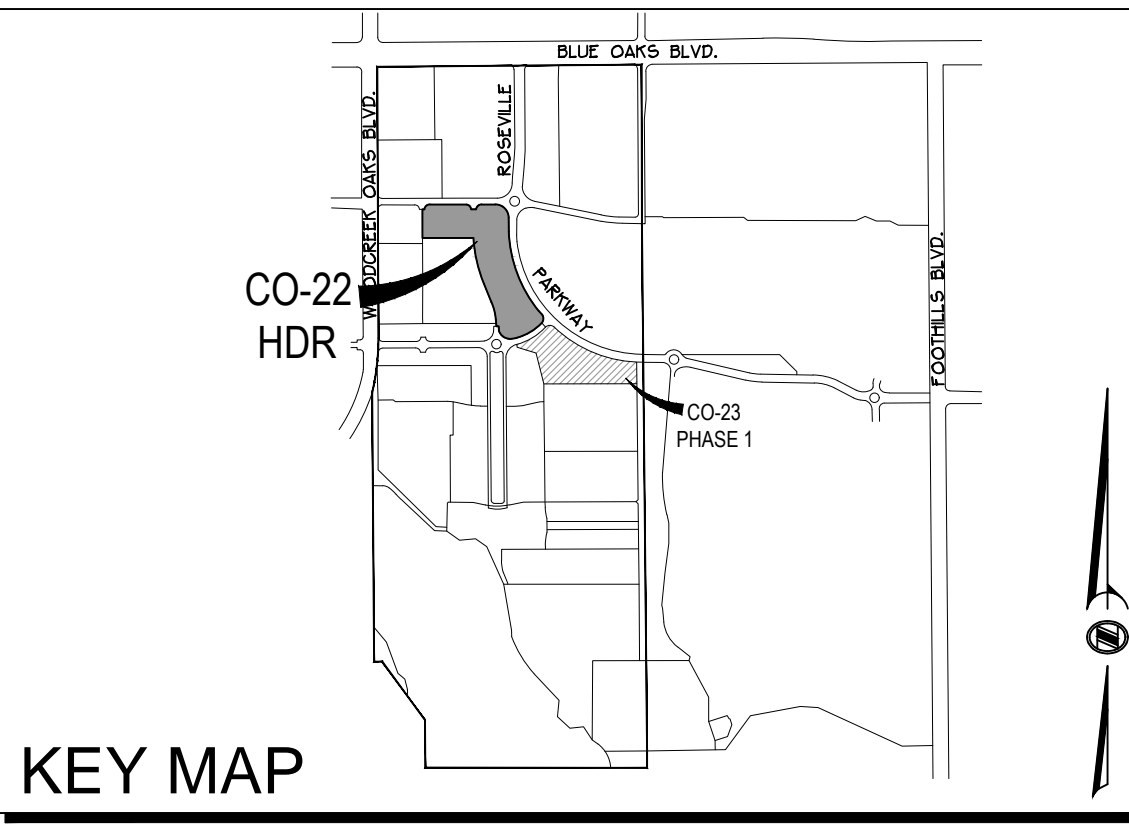
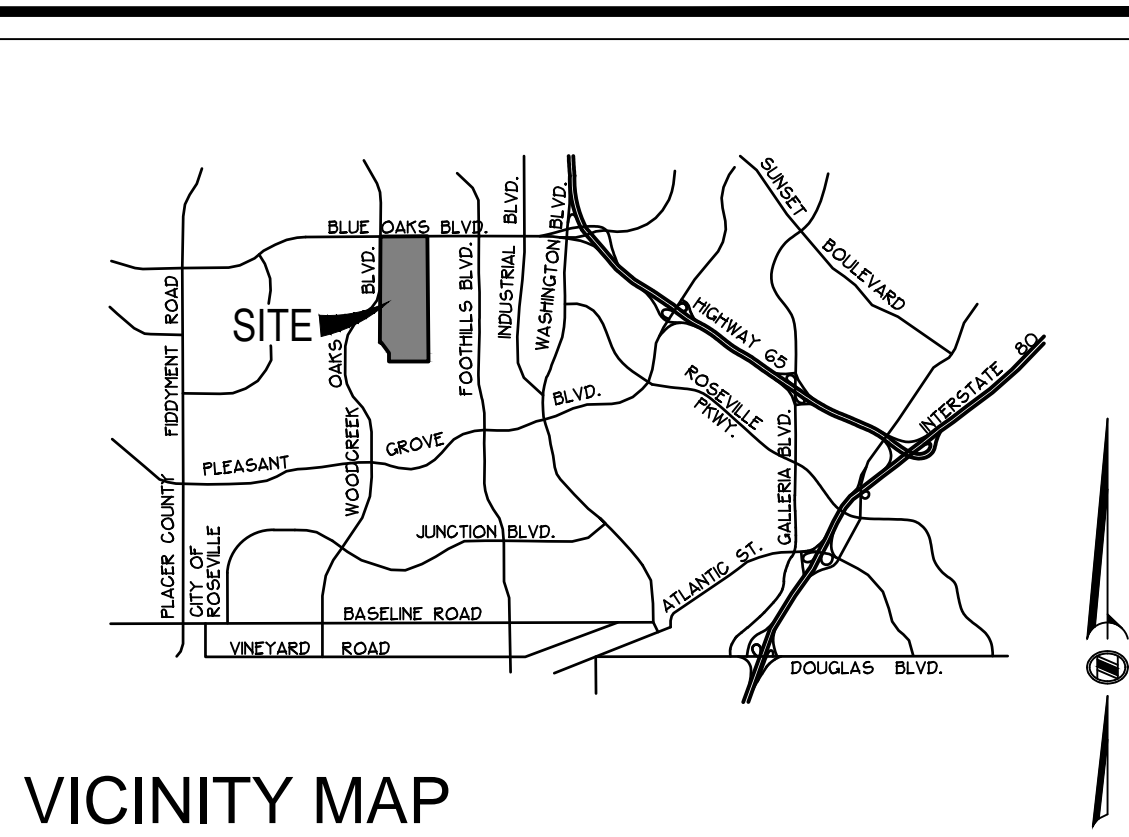
IMPROVEMENT PLANS FOR  
**HP CAMPUS OAKS APARTMENTS - PHASE 2**  
 UTILITY PLAN 3  
 CITY OF ROSEVILLE, CALIFORNIA

DATE	OCTOBER 30, 2019
SHEET	C-11
11 OF 40	

EN 19-0557 CWJ#190241 HP CAMPUS OAKS APARTMENTS - PHASE 2

CONSULTANT

APPROVALS



**OWNER/DEVELOPER :**  
CAMPUS OAKS APARTMENTS 1 LLC  
CONTACT: SCOTT CANEL  
1949 ST. JOHNS AVE., SUITE 200  
HIGHLAND PARK, IL 60035  
PHONE: (312) 580-0085

**ENGINEERS**  
MORTON & PITALO, INC.  
CONTACT: GREG BARDINI  
75 IRON POINT CIRCLE, #120  
FOLSOM, CA 95630  
PHONE: (916) 927-2400  
FAX: (916) 357-7888

**CITY OF ROSEVILLE**  
STORM DRAINAGE  
SANITARY SEWER  
WATER  
ELECTRICITY  
PARK & RECREATION  
FIRE PROTECTION  
POLICE PROTECTION

**ZONING**  
R3/DS

**LAND USE**  
HDR-24.5

**SCHOOLS**  
ROSEVILLE CITY SCHOOL DISTRICT  
ROSEVILLE JOINT UNION  
HIGH SCHOOL DISTRICT

**APN**  
481-260-025-000

**AREA**  
8.89± AC.

**GAS**  
PACIFIC GAS & ELECTRIC

**TELEPHONE**  
CONSOLIDATED COMMUNICATIONS

**PROPOSED UNITS**  
210 MULTI-FAMILY LOTS

NO	DATE	DESCRIPTION

REVISIONS	BENCH MARK
	ELEV = 112.83

3-1/4" BRASS DISC STAMPED LS5614, TOP OF CURB  
WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. &  
ROSEVILLE PARKWAY @ NE END OF CURB RETURN

COMPUTED BY

DESIGNED BY

DRAWN BY

PROJECT ENGINEER

PROJECT  
ENTITLEMENT DRAWING FOR  
**MAJOR PROJECT PERMIT MODIFICATION**

**HP CAMPUS OAKS APARTMENTS**  
**PHASE 2**  
**SITE PLAN REVISION**

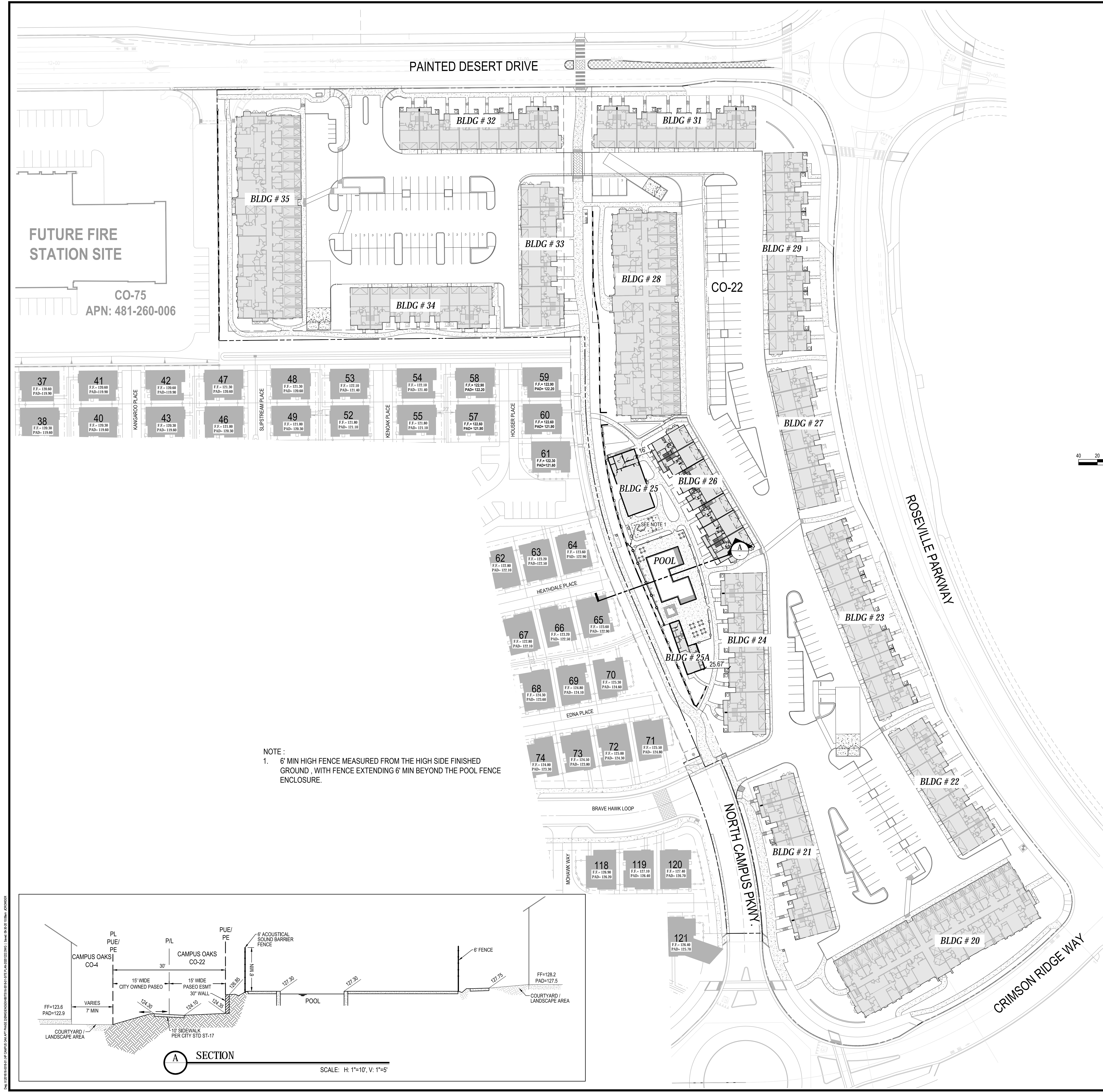
ROSEVILLE, CA

DRAWING

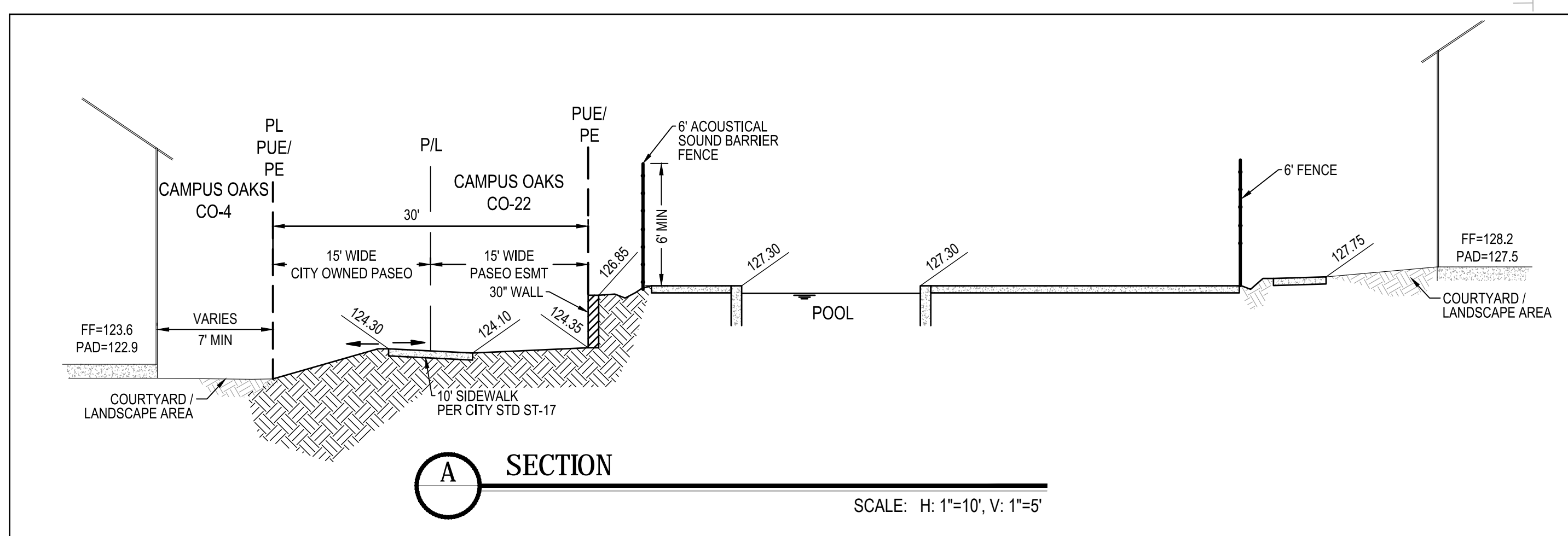
DATE	SHEET
DECEMBER 22, 2020	1

SCALE	OF
1" = 40'	1

JOB NUMBER	OF
16-0018-01	1



**NOTE :**  
1. 6' MIN HIGH FENCE MEASURED FROM THE HIGH SIDE FINISHED GROUND, WITH FENCE EXTENDING 6' MIN BEYOND THE POOL FENCE ENCLOSURE.



**A SECTION**  
SCALE: H: 1"=10', V: 1"=5'

City of Roseville Approval

NOT FOR CONSTRUCTION